

BOARD OF APPEAL

June 21, 1979

1. Z-4414 John L. Zoffreo
 135 Nonantum Street, Brighton
2. Z-4452-4453 James P. Flynn
 976-976() River Street, Hyde Park
3. Z-4476 Exeter Towers Associates
 Harvard Book Stores, Inc. (lessee)
 28 Exeter Street, Boston

MEMORANDUM

June 21, 1979

TO: BOSTON REDEVELOPMENT AUTHORITY
FROM: Robert J. Ryan, Director
SUBJECT: BOARD OF APPEAL REFERRALS

Hearing: 7/3/79

Z-4414
John L. Zoffreo
135 Nonantum Street, Brighton
At Cufflin Street

2½ story frame structure - R-.5

District(s):	apartment_____	general business_____	industrial_____
	residential R-.5_____	local business_____	waterfront_____
	single family_____		manufacturing_____

Purpose: Legalize occupancy - three family dwelling

Violation(s):

SectionRequiredProposed

8-7. Any dwelling converted for more families which does not meet the requirements of lot area is forbidden in an R-.5 District

14-2	Lot area is insufficient	2 acres	3,160 sf.
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Proposed conversion is inconsistent with predominant one and two family residential density of street. Opposition existing.
Recommend Denial.

VOTED: In reference to Petition Z-4414, brought by John Zoffreo, 135 Nonantum Street, Brighton, for a forbidden use and a variance to legalize occupancy for a three family dwelling in a Residential (R-.5) District, the Boston Redevelopment Authority recommends denial. Proposed conversion is inconsistent with predominant one and two family residential density of street. Opposition existing.



Z-4414

135 NONANTUM ST.
(BRI.)

Board of Appeal Referrals June 21, 1979

Hearing: 7/31/79

Z-4452-4453
James P. Flynn
976-976(R) River Street, Hyde Park
At Riverside Square

2½ & 1 story frame structures - R-.5

District(s): apartment _____ general business _____ industrial _____
residential R-.5 _____ local business _____ waterfront _____
single family _____ manufacturing _____

Purpose: Subdivide; change occupancy from garage to one family dwelling.

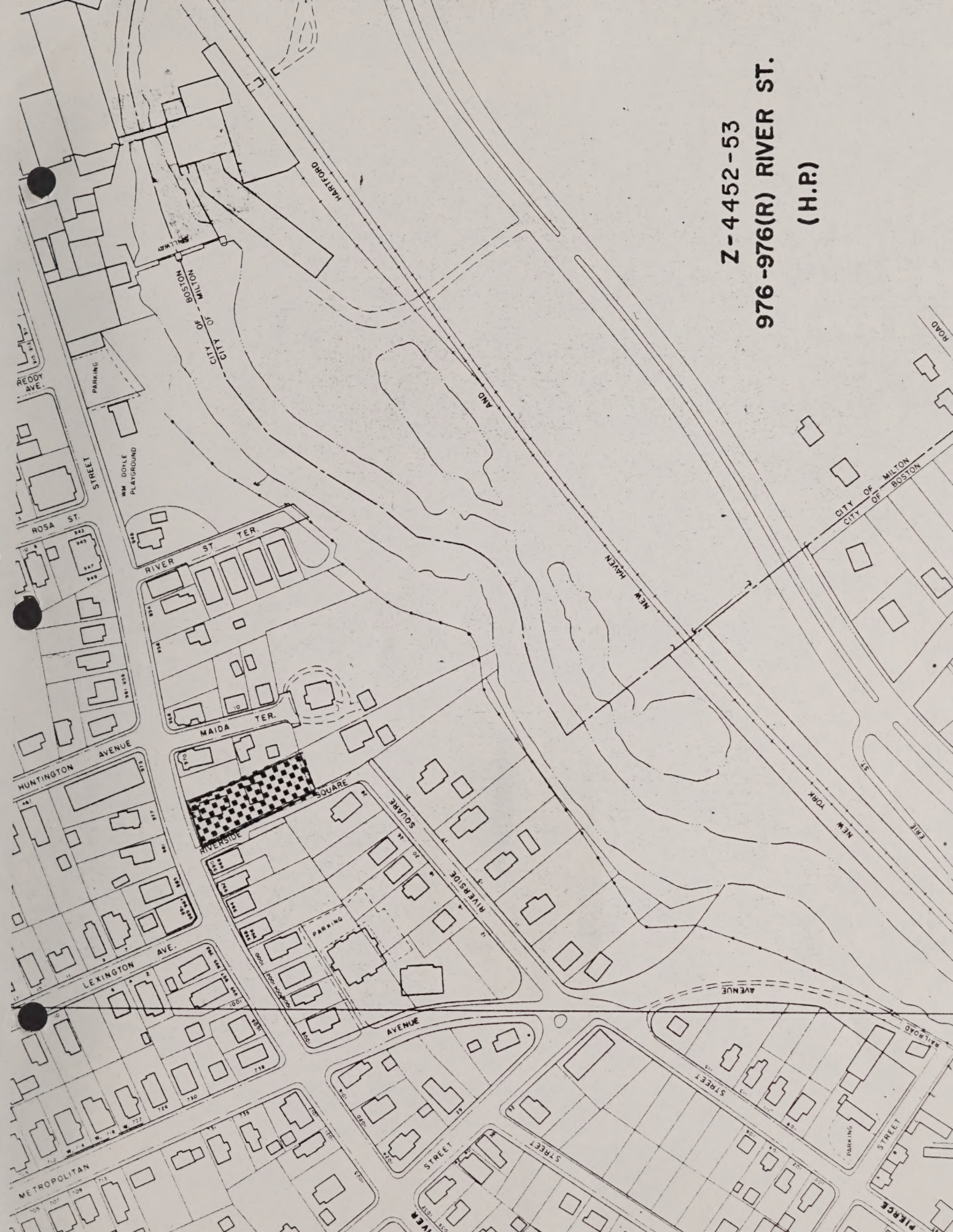
Violation(s):

<u>Section</u>	<u>Required</u>	<u>Proposed</u>
14-1. Lot area is insufficient	8,000 sf.	7,169 sf.
20-6. Rear yard is insufficient	40 ft.	21 ft.

Use, though compatible with the area, is inappropriate for the site. Small structure (30' X 25') situated behind a 2½ story two family dwelling cannot adequately support a residential unit. Recommend Denial.

VOTED: In reference to Petitions Z-4452-4453, brought by James P. Flynn, 976-976(R) River Street, Hyde Park, for three variances to subdivide and change occupancy from garage to one family dwelling in a Residential (R-.5) District, the Boston Redevelopment Authority recommends denial. Use, though compatible with the area, is inappropriate for the site. Small structure cannot adequately support a residential unit.

Z-4452-53
976-976(R) RIVER ST.
(H.R.)



Board of Appeal Referrals June 21, 1979

Hearing: 7/10/79

Petition Z-4476
Exeter Towers Associates
Harvard Book Stores Inc. (Lessee)
28 Exeter Street, Boston
At Newbury Street

3
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JAC
+

Nine story structure - B-4-70

District(s): apartment _____ general business B-4-70 industrial _____
residential _____ local business _____ waterfront _____
single family _____ manufacturing _____

Purpose: Change occupancy from 96 apartments, retail, garage
to 96 apartments, retail, garage, bookstore-restaurant.

Violation(s):

Section

Required

Proposed

8-7. Restaurant is conditional in a B-4-70 District

Proposed Book Store - Restaurant will allow patrons to browse and enjoy light food and beverages. Approximately 117 seats will be provided for cafe table service. Recommend approval with provisos.

VOTED: In reference to Petition Z-4476, brought by Exeter Towers Associates & Harvard Book Stores Inc., 28 Exeter Street, Boston, for change of occupancy from 96 apartments, retail, garage to 96 apartments, retail, garage, bookstore restaurant in a General Business (B-4-70) District, The Boston Redevelopment Authority recommends approval with the following provisos: that liquor license be limited to malt and wine. That closing hour be no later than 11:00 P.M. on weekdays and midnight on weekends; that entertainment be limited to soft piped in music; that there be no live entertainment, dancing or other mechanical entertainment; that there be no take out service; that deliveries take place between 9AM and 4PM only; that trash be compacted on premises, stored in rodent proof containers in interior storage areas; trash to be picked up daily; that the conditional use extend to Lessee and expire upon sale, sublease or other disposition.

JAMES
Z-4476

28 EXETER ST
(B.P.)

